



# SOUTH ASPELUND INDUSTRIAL PARK OUTLINE PLAN



Prepared by:  
Stantec Consulting, Ltd.

Executive Place  
#1100, 4900 Ross Street  
Red Deer, AB  
T4N 1X7



LACOMBE COUNTY

2013

# SOUTH ASPELUND INDUSTRIAL PARK - OUTLINE PLAN

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# 1.0 INTRODUCTION

## 1.1 PURPOSE

The purpose of South Aspelund Industrial Park Outline Plan is to describe the land use framework and development objectives for a 130.20 ac area shown on **Figure 1.0 – Location Plan**.

This property is owned by 1598768 Alberta Ltd. who is committed to creating a high quality, attractive, and successful industrial park while carefully considering the opportunities and constraints of the area. The proposed development is an extension of the existing industrial uses located east of the Plan Area and is an ideal location for the continuation of industrial development.

This report has been prepared by Stantec Consulting Ltd. on behalf of 1598768 Alberta Ltd.

## 1.2 PLAN AREA

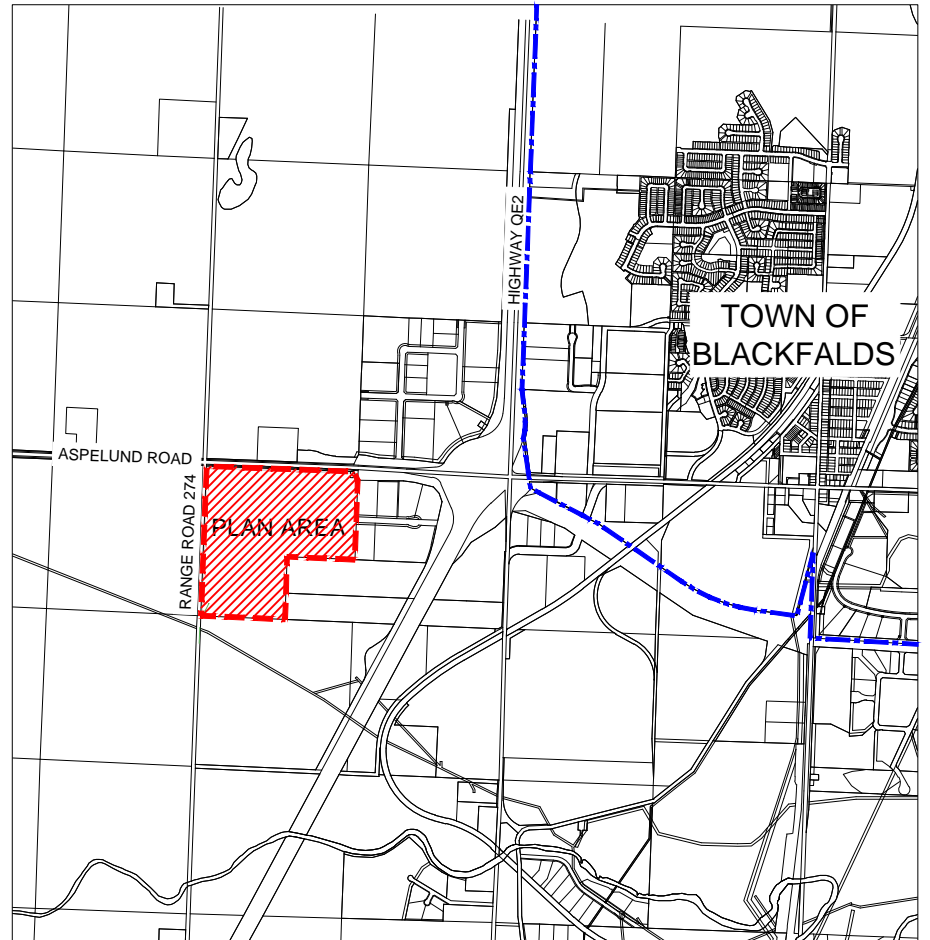
The Plan Area is comprised of portions of land located in the NW 1/4 Sec 21-39-27-W4M.

Located within Lacombe County, west of Highway 2 and southwest of the Town of Blackfalds, the Plan Area is bound by Aspelund Road to the north and Range Road 274 to the west.

## 1.3 ACCESS

The site is currently accessible via Aspelund Road and Range Road 274.





LEGEND

- Plan Boundary
- Lacombe County Boundary



FIGURE 1.0  
Location Plan  
South Aspelund Industrial Park

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## 2.0 PLANNING FRAMEWORK

### 2.1 RELEVANT PLANNING DOCUMENTS

The following relevant documents have been reviewed and referenced in preparation of this Outline Plan report:

**Town of Blackfalds/Lacombe County Intermunicipal Development Plan, 2006.**

The Intermunicipal Development Plan is intended to outline a cooperative framework for the resolution of planning, economic development, utility servicing, and transportation issues that are of joint interest to the Town of Blackfalds and Lacombe County.

Within the IDP, the future development use for the Plan Area is identified as being industrial/commercial and agricultural.

Due the Plan Area's location within the IDP's Notification Area, this Outline Plan will be circulated to the Town of Blackfalds for review prior to its approval.

**Armin A. Preiksaitis and Associates Ltd. Lacombe County. Lacombe County Municipal Development Plan. 2007.**

Outlining the broad policies for guiding growth and changes in the County, the Municipal Development Plan (MDP) included a conceptual future development map. Though it is difficult to interpret where the boundaries of the future land uses are, it appears as though the South Aspelund Industrial Park Plan Area is shown for either agricultural or industrial uses. The Map further clarifies that its use is intended for conceptual framework purposes and boundaries should not be interpreted as set.

**Lacombe County. Lacombe County Land Use Bylaw. 2007.**

The Lacombe County Land Use Bylaw (LUB) shows the South Aspelund Industrial Park Plan Area on Schedule C: Lacombe County Land Use Bylaw No 1056/07 – NW-21-39-27-W4M. Within this figure, the Plan Area is currently zoned as Agricultural.

The concept as shown within this Outline Plan has been developed to conform to the Land Use Bylaw in regards to land use and regulations.

**Lacombe County. Highway 2 West Area Structure Plan. 2012**

The Highway 2 West ASP lays out the overall land use framework and location of major amenities and transportation routes located between Lacombe and Blackfalds west of Highway QE2.

Within this ASP, the Plan Area is identified as being located within the Town of Blackfalds/Lacombe County Joint Economic Area and highlighted as a development node for industrial/commercial development.

This ASP also states that Site Development Guidelines that set out building design, landscaping, signage, and other site requirements are required to ensure high quality and consistent multi-lot development. Site development guidelines should include policies regarding screen/fencing, facade design, and landscaping. South Aspelund Industrial Park has been designed to include such guidelines..

Range Road 274 has been identified within this ASP to be upgraded from gravel to a paved roadway.

**Lacombe County. Lacombe County Operations Standards Manual. 2006.**

The Standards Manual lays out the County's standards regarding subdivision design, servicing, and construction approval processes. Roadway cross-sections for use within this subdivision have been based off those within the Manual to provide safe and efficient transportation movement.

### 2.2 ADDITIONAL STUDIES

**Alberta Culture. Listing of Historical Resources.**

Historical Resources Act clearance has been granted for the South Aspelund site, subject to Section 31 of the Resources Act which states, "a person who discovers a historic resource in the course of excavation for a purpose other than for the purpose of seeking historic resources shall forthwith notify the minister of the discovery." This clearance is dated October 18, 2012.

**Stantec Consulting Ltd. South Aspelund Industrial Wetland Assessment, 2012.**

A Wetland Assessment was conducted, including a wildlife habitat Assessment, by Stantec Consulting Ltd. The purpose of the Assessment was to provide an inventory, evaluation, and classification of wetlands and wildlife habitat within the proposed development lands. Wetland soil characteristics, surface hydrology, vegetation species and densities, as well as wildlife observations, usage and habitat suitability are included in the assessment.

A total of five wetlands were identified and assessed within the site: one Class 4 Semi-Permanent Pond, three Class 3 Seasonal Ponds, and one Class 3 temporary pond. All wetlands within the site had been



disturbed by varying degrees of cultivation and/or the presence of cattle within pasture lands. Wildlife habitat types available on site were rated as having nil, low, medium or high suitability for wildlife with an emphasis on species of management concern. Most of the subject lands were utilized for agricultural lands, which offer low suitability habitat for wildlife. Incidental wildlife observations were also recorded during the site visit.

Recommendations within the Study included: conducting any tree removal or habitat disturbance outside of the general breeding bird activity period (March 15 - August 31). Additionally, the Study recommended avoiding the disruption of high or moderate quality habitat if possible. This quality of habitat is located at the semipermanent and temporary ponds and several poplar tree stands.

The Concept Plan as shown within this Outline Plan has been developed in response to this study and its recommendations. In areas where wetlands may be impacted, compensation will be provided as per the Government of Alberta Environment and Sustainable Resource Development *Provincial Wetland Restoration/Compensation Guide* (2007).

Stantec Consulting Ltd. South Aspelund Industrial Park NW 21-39-27-W4M Stormwater Management Plan, 2012.

The objective of the Stormwater Management Plan is to demonstrate that the proposed stormwater management facility within the South Aspelund Industrial Park will meet Alberta Environment's criteria for permissible release rate and water quality improvements.

The study concluded that the proposed hybrid wet pond/wetland would provide adequate storage given the recommended control structure to attenuate the peak flows resulting from a 24 hour duration, 1:100 year design storm event.

Stantec Consulting Ltd. TES Industrial Development Traffic Impact Assessment Addendum (South Aspelund Industrial Park), 2013.

A transportation impact assessment was completed for the South Aspelund Industrial Park development as part of the TES Traffic Impact Assessment (TIA), completed in 2012. An addendum was issued for the TIA to include the South Aspelund Plan Area in 2013. The Assessment, available under separate cover, recommends several upgrades are various build out horizons. These recommendations can be found on Page 5.1 of the TIA Addendum.

Parkland Geotechnical Consulting Ltd. Geotechnical Investigation - Proposed McLevin Industrial Park Subdivision. 2013.

A geotechnical investigation for the Plan Area has been completed and has been found the Plan Area suitable for industrial development. This report, available under separate cover, identifies soil conditions, groundwater levels, and provides recommendations for development including minor changes in the topography.

Envirowest Engineering Inc. Phase One Environmental Site Assessment (ESA) NW 21-39-27-W4M, 2012.

A Phase One Environmental Site Assessment was completed for the site by Envirowest Engineering Inc. in November of 2012. This Assessment reviewed the current and historic land uses of the site, and surrounding area, to determine if there may be any contamination to the site. The Assessment stated that no visible evidence of environmental impact was present and that no further investigation was recommended.

Environment Canada. Migratory Birds Convention Act

Care will be given when in potential habitat areas to follow the regulations within the Migratory Birds Convention Act.

## 3.0 DEVELOPMENT CONSIDERATIONS

### 3.1 EXISTING STRUCTURES

Within the southwest portion of the Plan Area, there are several existing structures that are associated with an abandoned farmstead. These structures are proposed for removal prior to the development.

### 3.2 NATURAL FEATURES

#### 3.2.1 Historical Resources

As previously stated, a Historical Resources Act clearance has been granted for the South Aspelund site, subject to Section 31 of the Resources Act which states, "a person who discovers a historic resource in the course of excavation for a purpose other than for the purpose of seeking historic resources shall forthwith notify the minister of the discovery."

#### 3.2.2 Vegetation

As shown on **Figure 2.0 - Existing Site**, the Plan Area is currently used primarily for agricultural purposes, including a pasture for cattle, with existing poplar tree stands surrounding the home site and semi-permanent pond. These poplar stands were identified as having moderate suitability for habitat within the Wetland Assessment.

Recommendation was made to avoid disturbing areas of moderate and high suitability for habitats.

#### 3.2.3 Wetlands

Five ponds have been identified within the Plan Area: 1 temporary pond, 3 seasonal ponds, and 1 semipermanent pond. These wetlands are shown on **Figure 3.0 - Wetland Classification**. Based on the Wetland Assessment, all of the identified wetlands have been influenced by the surrounding cultivation and/or cattle. The Wetland Assessment identified the semi-permanent pond as having high suitability for habitat, and the west-most seasonal pond as having moderate suitability, with the other three ponds having low suitability.

Recommendation was made to avoid disturbing areas of moderate and high suitability for habitats. Compensation for lost wetlands will be provided to Lacombe County as dictated by Alberta Environment.

#### 3.2.3 Environmental Site Assessment

A Phase One Environmental Site Assessment (ESA) was completed for the Plan Area to determine the likelihood of environmental contamination, based on present and historical property uses. The assessment stated that there was no visible evidence of environmental impact on the Plan Area; therefore, no further investigation was recommended.



#### 3.2.4 Geotechnical Investigation

A geotechnical investigation was completed by Parkland Geotechnical that found the Plan Area suitable for industrial development. This investigation includes site conditions, discussion, and recommendations regarding site preparation, trench installation, concrete foundations, roadway sub-grade construction, flexible pavement design, frost action, and the stormwater pond.

The report also recommends that on-site construction testing and monitoring be performed to verify that actual site conditions are consistent with assumed conditions and that actual conditions meet or exceed design criteria.

### 3.3 EXISTING UTILITIES

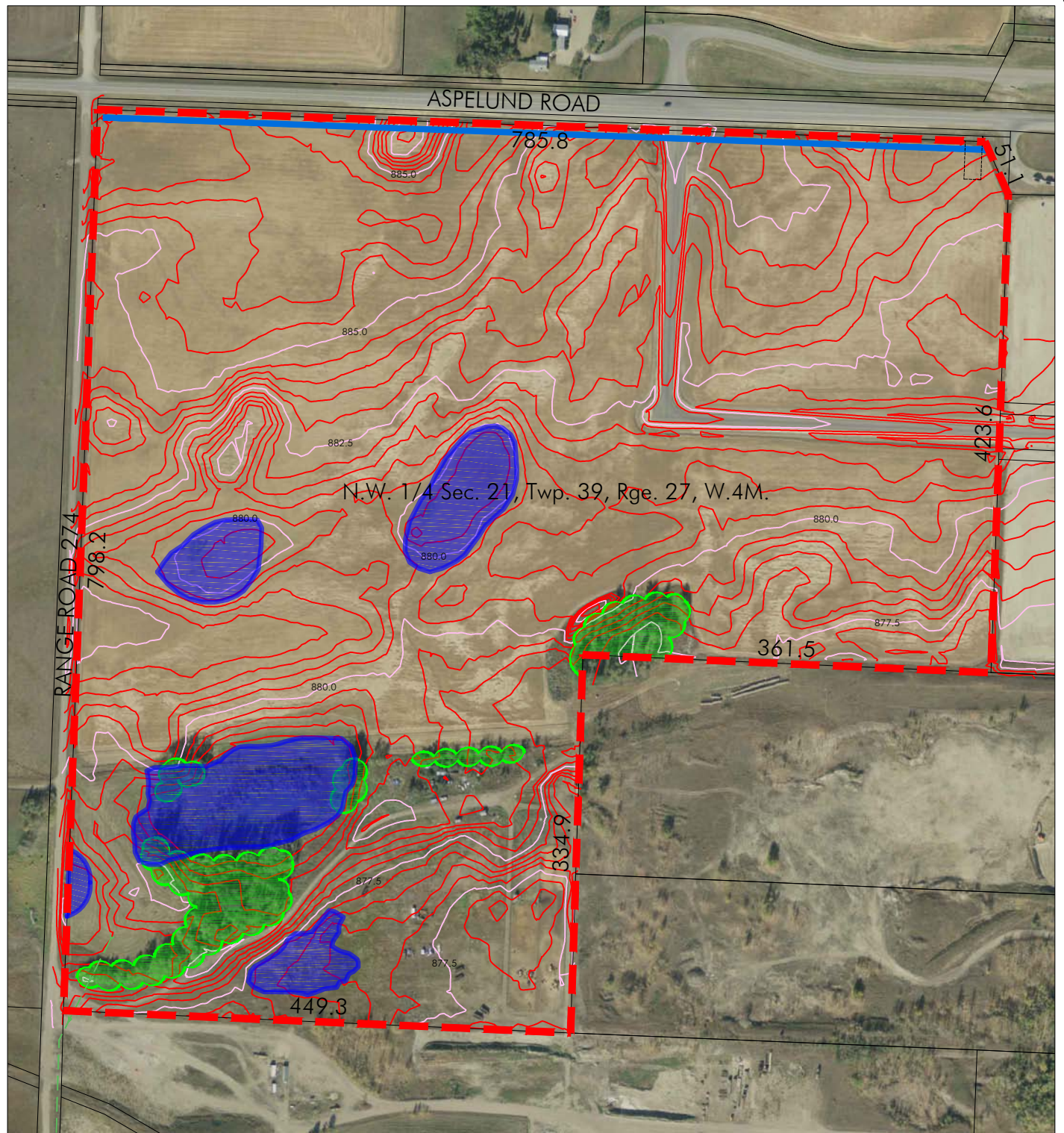
There is an existing ATCO Gas pipeline running along the northern boundary of the Plan Area. This pipeline does not have a setback distance and has little affect on the development concept.

An oil pipeline runs from west to east, southwest of the Plan Area; this pipeline also does not have a setback distance and will not have any affect on the development of South Aspelund Industrial Park.

### 3.4 LAND USE BYLAW

The Lacombe County Land Use Bylaw specifies the Plan Area as being zoned Agricultural. Along the eastern boundary of the Plan Area, there is an IB - Industrial Business land use for the existing McLevins Industrial Park.





**LEGEND**

-  Existing Trees
-  Existing Wetlands
-  Existing Atco Gasline
-  Contours
-  Plan Boundary



**FIGURE 2.0**  
**Existing Site**  
 South Aspelund Industrial Park

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**LEGEND**



Wetland Class II - Temporary Pond



Wetland Class III - Seasonal Pond



Wetland Class IV - Semi-Permanent Pond



Plan Boundary



**FIGURE 3.0**

# Wetland Classification

South Aspelund Industrial Park

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## 4.0 CONCEPT PLAN

### 4.1 CONCEPT OVERVIEW

South Aspelund Industrial Park has been prepared to provide a range of industrial opportunities for future businesses by identifying the roadway layout, lot sizes, and orientation of the development. The Concept Plan has been derived from the consideration of a combination of factors including:

- a response to environmental considerations and potential wildlife habitat areas
- a desire to provide a range in industrial lot sizes
- the satisfaction of municipal requirements
- consistency with surrounding existing industrial lots

The overall design for South Aspelund Industrial Park is shown in **Figure 4.0 – Concept Plan** and **Figure 5.0 – Concept Plan with Aerial**. The Concept Plan features a simple and logical layout that maximizes the developable area while conserving the semipermanent pond floodway and surrounding poplar trees.

The land use statistics and industrial units are represented in **Table 1.0 - Land Use Allocation**.

### 4.2 LAND USE

#### 4.2.1 I-BI - Business Industrial District

The Plan Area is currently zoned Agricultural within the Lacombe County Land Use Bylaw; however, this Outline Plan has been created in support of rezoning the area to IBI - Business Industrial District to accommodate the various industrial land uses envisioned for the Plan Area.

The Business Industrial District allows for a broad range of commercial and industrial uses that are compatible with a business and industrial park. Businesses anticipated to find this park desirable may require large amounts of land for outdoor storage or work area.

Fifteen lots have been conceptually identified within the South Aspelund Industrial Park, the location and layout of these lots has been designed to provide connectivity to the existing industrial uses located east of the Plan Area. At the time of subdivision, the size of these lots may change based on market conditions. In addition, potential lot purchasers will be able to easily expand their operations by purchasing multiple lots and consolidating them.

### 4.3 OPEN SPACE

#### 4.3.1 Municipal Reserve

A Municipal Reserve space has been located within the southwest portion of the Plan Area as shown on **Figure 6.0 - Open Space**. This reserve space will be utilized for the development of a stormwater management facility and passive public recreation amenities. These amenities will be targeted towards those working within the area: walking trails, lunch break areas, etc.

As per the requirements of the Municipal Government Act, a total of 10% of the Net Developable Area has been dedicated as Municipal Reserve.

Table 1.0 - Land Use Allocation.

	AREA (ha)	AREA (ac)	% OF NDA	LOTS
<b>GROSS AREA</b>	<b>52.80</b>	<b>130.47</b>		
STORM WATER MANAGEMENT FACILITY (SWMF)	2.27	5.61		
ENVIRONMENTAL RESERVE (ER)	0.99	2.44		
<b>NET DEVELOPABLE AREA</b>	<b>49.54</b>	<b>122.42</b>	<b>100.00%</b>	
BUSINESS INDUSTRIAL DISTRICT (I-BI)	36.81	90.96	74.30%	15
MUNICIPAL RESERVE (MR)	4.95	12.23	10.00%	
PUBLIC UTILITY LOT (PUL)	1.10	2.72	2.22%	
ROADWAYS	6.68	16.51	13.48%	
<b>SUB-TOTAL</b>	<b>49.754</b>	<b>122.42</b>	<b>100.00%</b>	



#### 4.3.2 Stormwater Management Facility

A stormwater management facility is located within the southwest portion of the Plan Area; it will be developed as a reconstructed wetland and will accommodate 1:100 year flood waters, as well as provide habitat area for potential wildlife.

This wetland will be sized and designed to replace the existing ponds by enlarging the semi-permanent pond and utilizing natural plant materials currently surrounding each pond. The combined area of the five ponds was stated as being 3.25ha on **Figure 3.0 - Wetland Classification**; whereas, the reconstructed and preserved wetland will be sized at 2.45ha. Compensation for lost wetlands will be provided to Lacombe County as dictated by Alberta Environment.

#### 4.3.3 Environmental Reserve

Existing stands of trees surrounding the proposed stormpond/wetland, as well as part of wetland 2, have been preserved using Environmental Reserve dedication.

### 4.4 TRANSPORTATION NETWORK

A transportation network has been laid out within the Plan Area with primary access off of Aspelund Road and Range Road 274. Initially access will be extended from the east into the Plan Area, with the northern access point being constructed second. The roadway has been designed as a modified industrial roadway, as per the *Lacombe County Standards Manual*, to accommodate large-format vehicles that may access the industrial park.



LEGEND

- |  |  |
|--|--|
| <span style="display: inline-block; width: 15px; height: 15px; background-color: purple; border: 1px solid black;"></span> Business Industrial District (I-BI) | <span style="display: inline-block; width: 15px; height: 15px; background-color: lightgray; border: 1px solid black;"></span> Roadway            |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: green; border: 1px solid black;"></span> Municipal Reserve (MR)               | <span style="display: inline-block; width: 15px; height: 15px; border-top: 2px dashed red; border-bottom: 2px dashed red;"></span> Plan Boundary |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: blue; border: 1px solid black;"></span> Public Utility Lot (PUL)              |  |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: yellow; border: 1px solid black;"></span> Environmental Reserve (ER)          |  |

FIGURE 4.0  
Concept Plan  
South Aspelund Industrial Park

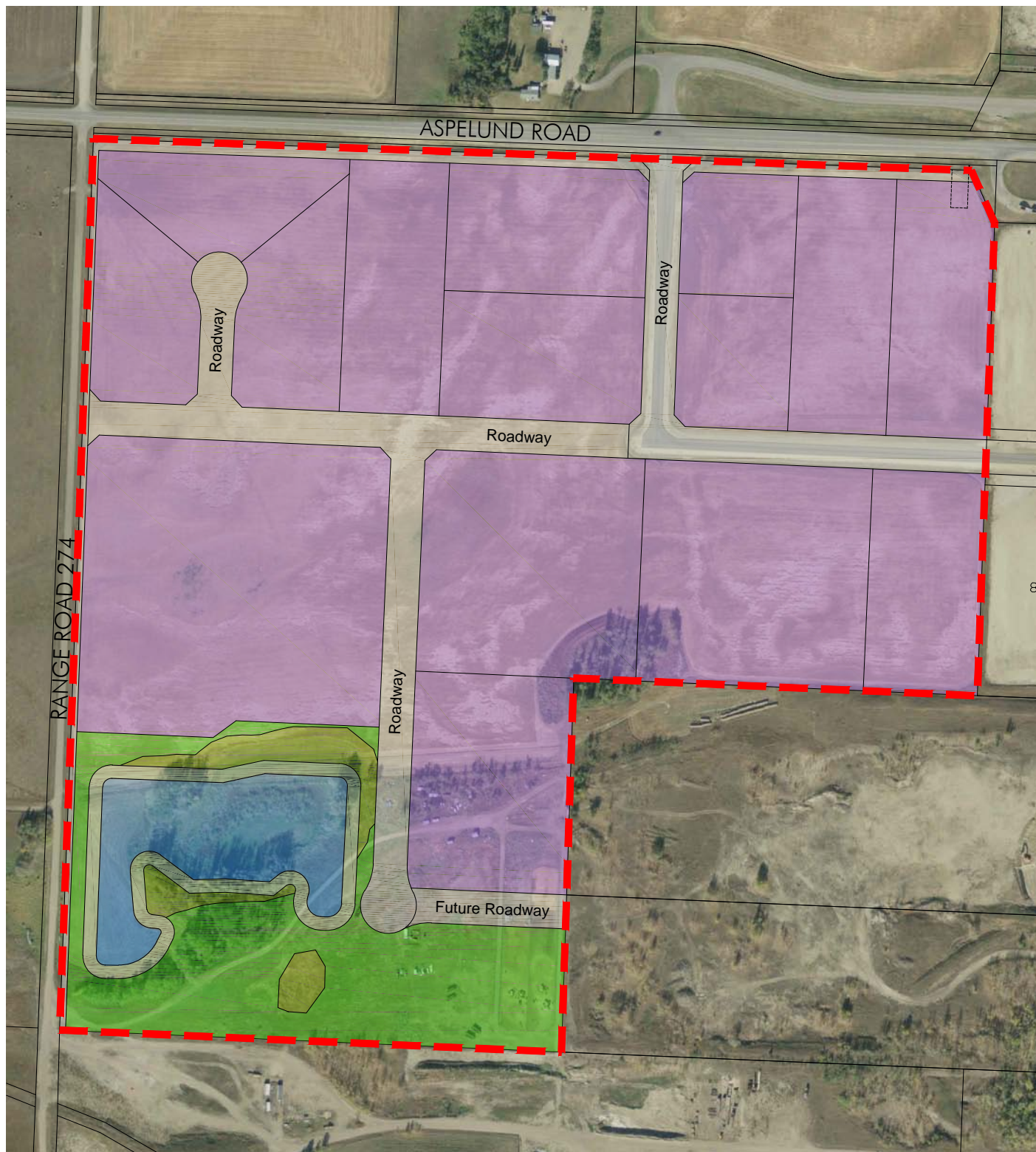
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LEGEND

- |  |  |
|--|--|
| <span style="display: inline-block; width: 15px; height: 15px; background-color: purple; border: 1px solid black;"></span> Business Industrial District (I-BI) | <span style="display: inline-block; width: 15px; height: 15px; border: 1px solid black; background-color: white;"></span> Roadway      |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: green; border: 1px solid black;"></span> Municipal Reserve (MR)               | <span style="display: inline-block; width: 15px; height: 15px; border: 2px dashed red; background-color: white;"></span> Plan Boundary |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: lightblue; border: 1px solid black;"></span> Public Utility Lot (PUL)         |  |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: yellowgreen; border: 1px solid black;"></span> Environmental Reserve (ER)     |  |



**FIGURE 5.0**  
**Concept Plan With Aerial**  
 South Aspelund Industrial Park

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FIGURE 6.0  
Open Space  
South Aspelund Industrial Park

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## 5.0 TRANSPORTATION

As shown on **Figure 7.0 – Roadway Network**, the proposed transportation network within the Plan Area has been designed as a simple system that will provide connectivity within to the surrounding industrial areas. The network will also accommodate large sized commercial or industrial vehicles.

### 5.1 ACCESS

Access into the Plan Area will be via Aspelund Road and the existing industrial roadway east of the Plan Area as well as Range Road 274 which will be built and paved.

### 5.2 INDUSTRIAL SUBDIVISION ROAD

The proposed roadway network within the McLevin Industrial Park will consist of Industrial Subdivision Roads. The road right-of-way is proposed to be 30.48m wide with a 8.5m wide carriageway and drainage ditches on either side. This roadway is shown on **Figure 7.1 - Roadway Detail** and on page C-2 of the *Lacombe County Standards Manual*.

Industrial turning radii's have been considered to ensure large vehicles will be able to easily maneuver throughout the Plan Area.

### 5.3 TRAFFIC IMPACT ASSESSMENT (TIA)

The South Aspelund Industrial Park has been addressed within a previous TIA for the TES Industrial Park, located north of Aspelund Road. Recommendations made within the TIA with reference to South Aspelund Industrial Park are:

- Background traffic volumes at the 2022 horizon – including full build-out of the existing Aspelund Industrial Park, 50% build-out of South Aspelund Industrial Development, and growth on the existing road network – warrants the upgrade of Aspelund Road / Range Road 274 to a Type IV intersection.
- Background volumes at the 2032 horizon – including full build-out of the existing Aspelund Industrial Park and South Aspelund Industrial Development, as well as growth on the existing road network – requires additional eastbound left-turn storage ( $s = 35$  m) and additional westbound left-turn storage ( $s > 75$  m). No upgrades are required at Aspelund Road / Range Road 274 beyond what has been discussed above.

The full results of this TIA are available under separate cover.

An additional road widening of 10.36m along Aspelund Road and 5.18m along RR 274 has been dedicated to allow future road widening of these roads. Intersection treatment will also be undertaken in conjunction with road improvements along Aspelund Road. The Developer will pay a proportionate cost for these improvements; all local improvements will meet or exceed the standards as set out in the *Lacombe County Standards Manual*.



FIGURE 7.0  
Roadway Network  
South Aspelund Industrial Park

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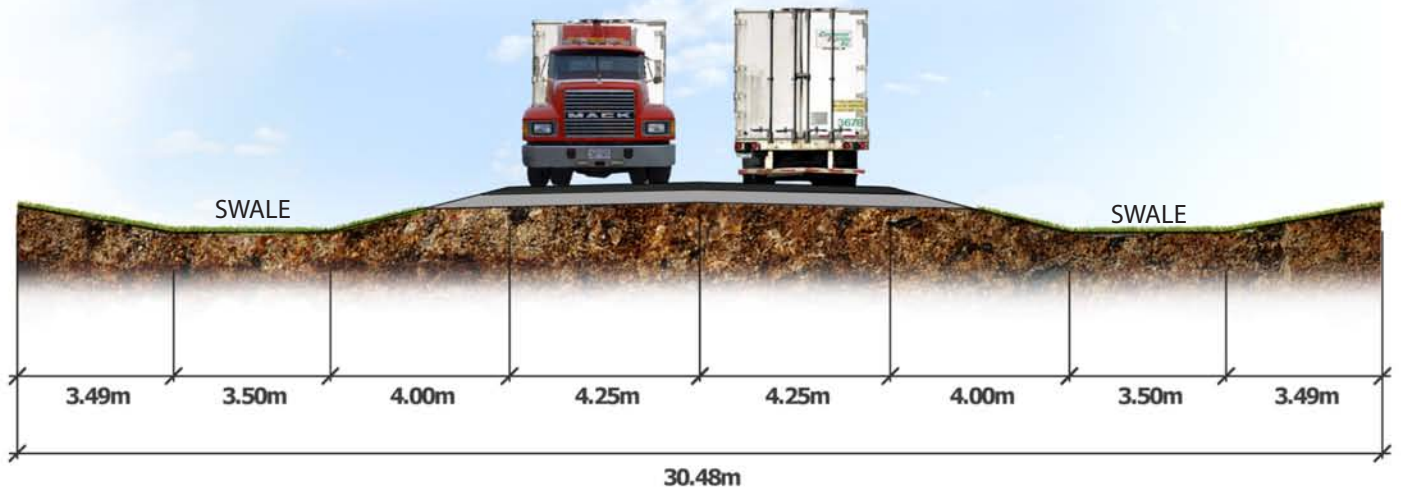


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**FIGURE 7.1**  
**Roadway Detail**  
 South Aspelund Industrial Park

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## 6.0 SERVICING

### 6.1 STORM SERVICING

#### 6.1.1 Existing Drainage

The majority of the Plan Area generally slopes at approximately 2 - 4% from the north of the site down to the south with a high elevation recorded at ~887 m. The site has numerous traplow areas, particularly along the west and north boundaries where roadways have been developed. The site also slopes at approximately 12-15% from various ridgelines down to the existing wetland at a low point elevation of ~877.8 in the semi-permanent pond.

The semi-permanent pond is a large natural occurring wetland that is contained within the site. Due to the topography, there is no natural outlet for the site; however, there is enough grades to allow one to be established to Blindman River, located two quarter sections to the south of the site.

#### 6.1.2 Proposed Storm Servicing

A Stormwater Management Plan was prepared for the South Aspelund Industrial Park by Stantec Consulting. The report reviewed the existing condition of the site and proposed drainage plan. This Plan is available under separate cover and briefly described below.

The proposed development shall be graded such that the majority of the industrial development can have both the minor (roadside ditches) and major (overland

flow) storm systems drain/spill to the proposed stormwater management facilities located in the south western portion of the site.

The entire site excluding fringe shall be directed to the stormwater management facility as shown on **Figure 8.0 - Storm Servicing**.

During roadway design, Stantec will employ vegetated ditches across the site such that stormwater runoff is pretreated in the ditches, prior to draining into the proposed hybrid stormpond/wetland. The flows from the development will be intercepted and treated by this proposed stormwater management facility, prior to ultimately discharging to the proposed outfall at the Blindman River.

The hybrid stormpond/wetland is proposed to provide the required stormwater quality control and detention time for the South Aspelund development. Wetland 1 will be expanded to provide the necessary stormwater storage volume; this will also contain the necessary sediment control forebay. An Environmental and Municipal Reserve buffer is located surrounding the proposed stormpond/wetland to minimize impacts on the wetland. In addition, all efforts will be made during construction to mitigate any potential damage to the existing vegetation.

The facility will have an outlet located in the southwest corner of the pond and will have an active depth of 1.2m. The facility will be graded and stormwater will be routed such that the site minor system inlet into the



hybrid wet pond/wetlands will have an adequately sized sediment forebay to meet the total suspended sediment removal requirements. All overland drainage from the proposed lot flanking the wet pond/wetland area will be graded to direct all flows to the proposed sediment control bays to protect the stormwater management facility.

## 6.2 SANITARY SERVICING PLAN

Lacombe County has proposed extending sanitary sewer servicing across Highway 2 from the Town of Blackfalds. This trunk line will be extended through the existing Aspelund Industrial Park, then TES Industrial Park, and into the McLevin's/South Aspelund Industrial Park.

A conventional gravity sewer system, as illustrated on **Figure 9.0 - Sanitary Servicing**, will be constructed in the South Aspelund Industrial Park which will connect to the Lacombe County sanitary trunk. This sanitary pipe system will be designed using the *Lacombe County Operations Standards Manual*.

## 6.3 WATER SERVICING

Similar to the sanitary system, Lacombe County is proposing to extend water servicing across Highway 2 from the Town of Blackfalds. A trunk water line will be extended through the existing Aspelund Industrial Park, then TES Industrial Park, and into the McLevin's/South Aspelund Industrial Park.

The water main distribution system is illustrated on **Figure 10.0 – Water Servicing**. This water distribution system will be designed using the *Lacombe County Operations Standards Manual*.

The development will include fire safety measures outlined in the Lacombe County's Operations Standards Manual. This will consist of a full fire flow system using the water servicing connection from the Town of Blackfalds. Both the sanitary and water transmission lines will be placed in a utility easement along the roadway as outlined in the *Lacombe County Operations Standards Manual*.





**FIGURE 8.0**  
**Storm Servicing**  
 South Aspelund Industrial Park

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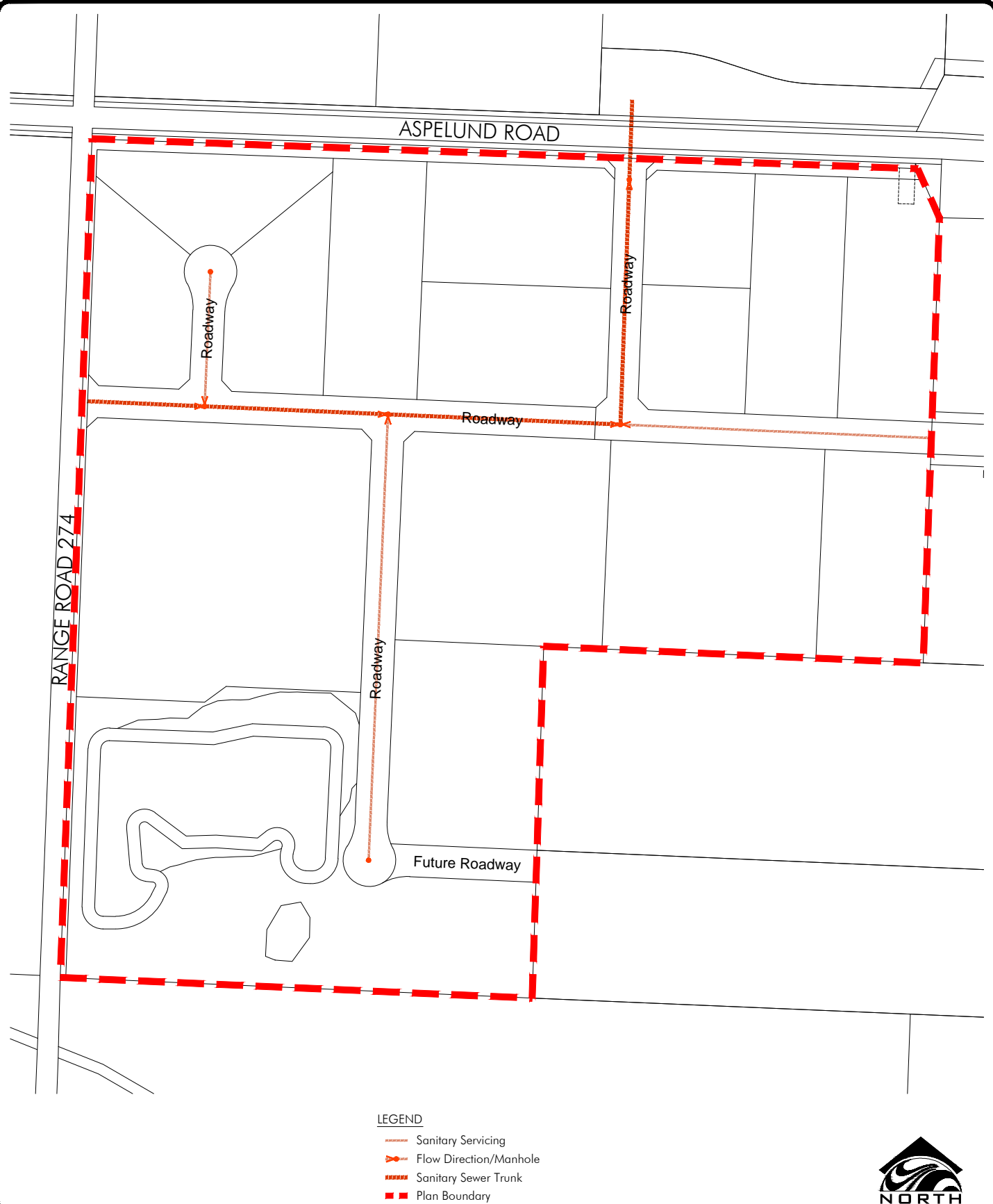
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**FIGURE 9.0**  
**Sanitary Servicing**  
 South Aspelund Industrial Park

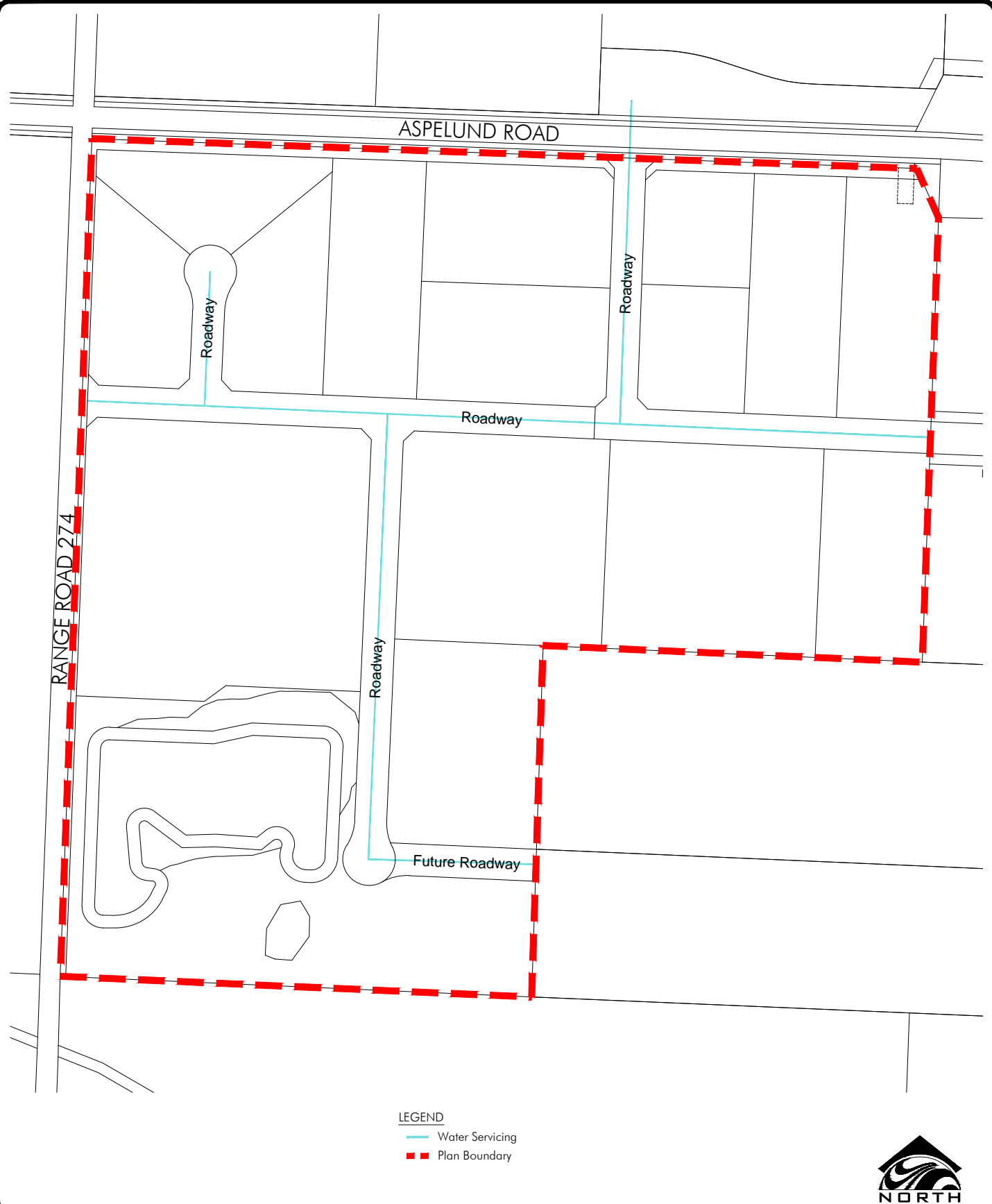
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May, 2013



LEGEND

- Water Servicing
- - - Plan Boundary

**FIGURE 10.0**  
**Water Servicing**  
 South Aspelund Industrial Park

Prepared for:  
 1598768 Alberta Ltd.  
 Red Deer, Alberta

DRAWN BY: SAS  
 CHECKED BY: GCL  
 SCALE: 1:5000  
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## 7.0 IMPLEMENTATION & PHASING

### 7.1 PHASING

The development of the South Aspelund Industrial Park will be completed in one phase.

### 7.2 MUNICIPAL DEVELOPMENT PLAN (MDP)

The conceptual land use plan within the Municipal Development Plan is not intended to be updated after each Plan approval; therefore, the approval of this plan will not require any MDP amendments.

### 7.3 LAND USE BYLAW (LUB)

The existing Land Use Bylaw currently identifies the South Aspelund Plan Area with an Agricultural designation. This will need to be updated to show the I-BI Business Industrial District designation.

### 7.4 SUBDIVISION

South Aspelund Industrial Park will be subdivided into smaller portions prior to being sold. This subdivision will occur at the same time as the Land Use Bylaw amendment's redistricting.